



Correspondence Between Staff and Applicant

Approval Letter

Denial Letter

# ARCHITECT RESPONSE LETTER - 1<sup>st</sup> COMMENTS

James Elson  
10405 E. McDowell Mountain  
Scottsdale, AZ 85260

RE: 46-DR-2019  
Storage at McDowell  
K2854 (Key Code)

The Planning & Development Services Division has completed the review of the above referenced development application submitted on 9/24/19. The following **1<sup>st</sup> Review Comments** represent the review performed by our team, and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

## **Zoning Ordinance and Scottsdale Revise Code Significant Issues**

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

### **Planning:**

1. Per Z.O.Sec.3.100, floor area ratio is the ratio of gross floor area to the net lot area of a site. The net lot area is decreasing with the required 12-foot-wide alley dedication. The new net lot area is approximately 2,500 square feet less than what exists today. Update the FAR calculations accordingly. This means the size of the building will need to decrease.

### **12' ALLEY DEDICATION ADDED TO SITE PLAN & GROSS & NET AREAS ADDED TO SITE DATA (GROSS - 59,150 sf / NET - 56,856 sf) BUILDING AREA REDUCED**

2. The FAR calculations list "less vert. circ. & equip." Why is that being excluded? Areas that can be excluded from FAR are parking, uncovered steps, exterior balcony space, exterior ground floor patio space, basement space used for unoccupied storage, and elevator shafts and space occupied by electrical and mechanical rooms. Please clarify and revise FAR and parking calculations as necessary.

## **STAIRS & ELEVATOR/EQUIP. ADDED TO FLOOR PLAN & IS REFLECTED IN DATA**

3. Open space calculations are based on overall height, which would be 28 feet, and net lot area, which would be the area leftover after the alley dedication. Per Z.O.Sec.5.1504, the minimum required open space is as follows:

*Minimum: .10 x net lot area*

*For building heights over twelve (12) feet: the minimum open space requirement plus 0.004 multiplied by the net lot area for each foot of building height over twelve (12) feet.*

*Total open space is distributed as follows:*

*Frontage open space minimum: 0.50 multiplied by the total open space requirement.*

*The remainder of the total open space, less the frontage open space, shall be common open space.*

The calculations on the required open space plan are incorrect, please revise.

In addition, the amounts listed for total open space provided are incorrect. Provided frontage open space totals to 3,770 SF. Provided general open space totals to 13,081 SF. Plan will need to be updated according to the accurate amounts required by ordinance above.

**PROJECT DATA HAS BEEN REVISED TO CONFORM TO REVIEW COMMENTS**

4. Per Z.O.Sec.10.602.A.3, there should be a 10-foot-wide landscape buffer between the subject development and residential districts (including any residential portions of Planned Community P-C, which would be to the east). Please update the site plan to show a 10-foot-wide landscape buffer along entire east boundary of the site that abuts the apartments in the Papago Plaza redevelopment. The 10-foot-wide landscape buffer should span the entire east property line. (However, landscape walls may remain in the 10' buffer.) There should be 10 feet of landscaping between the parking lot and the east property line as well as 10 feet of landscaping between the east property line and the new building.

**EASTERN SETBACK (INCL. PARKING) INCREASED TO 10'. REF SD-1**

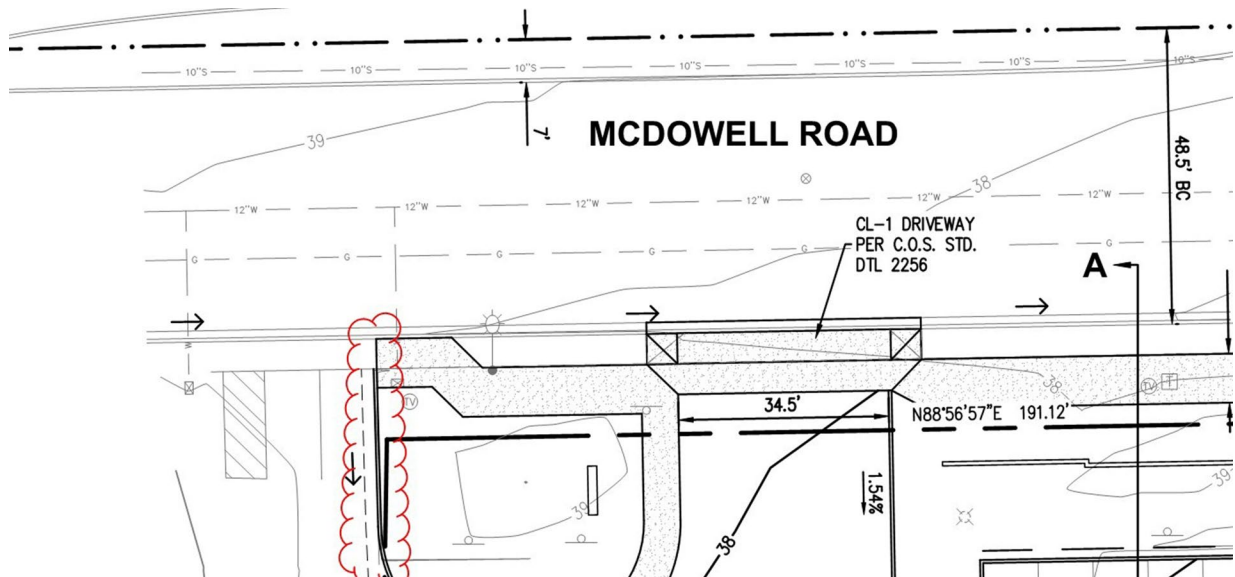
The proposed development also abuts residential to the south. Instead of a 10-foot-wide landscape buffer along the new south property line, please utilize a 6-foot-tall screen wall that will match the new screen wall being built on the southern property line of the Papago Plaza site. The site plan should be revised so the new screen wall is on the southern property line after the 12 foot alley dedication. The site plan should note that the wall will match the Papago Plaza wall in color and materials.

**SITE PLAN INDICATES 6' WALL TO MATCH ADJACENT WALL (MATERIALS & COLOR) AND IS RELOCATED TO THE 12' ALLEY DEDICATION**

5. The new site plan requires a 24-foot-wide cross access easement to be dedicated over the west segment of the subject parcel and east segment of the neighboring parcel to the west. Work with the neighboring property owner to dedicate a new easement or revise the site plan so that all access is provided on site. Provide evidence of the easement recording with second submittal of this case.

**THE PROPERTY OWNER HAS CONTACTED THE ADJACENT PROPERTY OWNER & IS IN THE PROCESS OF PERFECTING THE 24' CROSS ACCESS EASEMENT**

6. The proposed site plan shows improvements being done on the western parcel. Revise the site plan so work is completed on the subject site. See below.



**KEY NOTE F ADDED TO INDICATE NEW CONC. VERT. CURB @ ADJ. PARKING**

7. Revise the conceptual landscape plan so that it includes summary data indicating the landscape area (in square feet) of on-site, right-of-way, and parking lot landscaping, in compliance with Zoning Ordinance Section 10.200. Please refer to Zoning Ordinance Section 1.305.

**LANDSCAPE DATA ADDED**

8. Revise the landscape plan so that the landscape legend includes quantity of the proposed plants, in compliance with Zoning Ordinance Section 10.200.

**LANDSCAPE INFORMATION ADDED**

9. Revise the landscape plan so that decomposed granite or similar material around the mature form of a specimen plant, tree canopy, or groups of plants, shall not exceed seven (7) feet in any direction, per Zoning Ordinance Section 10.501.A.

**LANDSCAPE NOTE ADDED**

10. Per Z.O.Sec.7.600.A.4.a., at the new southern property line of the parcel, the maximum amount of light trespass is limited to 0.3 foot-candles due to the residential to the south.

**CONFORMS TO CRITERIA**

11. Please provide information and details related to screening devices that will be utilized to screen any mechanical equipment. Parapet walls or louver systems that are utilized for screening shall be equal to, or exceed, the height of the tallest roof-mounted mechanical equipment. Please refer to Zoning Ordinance Sec. 1.904.A.4 and Sec. 7.105.A.3.

**DETAIL ADDED**

12. Provide information and details related to the roof drainage system. Roof drainage systems, excluding scuppers, shall be concealed within the structure, or architecturally integrated with the design of the structure. Please refer to Zoning Ordinance Section 7.105.C.

**ROOF PLAN ADDED TO SUBMITTAL W/ ROOF & O.F. DRAINS, ROOF HATCH & MECH. EQUIP. SCREEN WALL – REF: A-6 & DETAILS**

Fire:

13. Please update the site plan to provide designated and dimensioned fire access to back of structure per Fire Ord. 4283 Sec 503.2.1 and 503.3.

**ADDIT. FIRE TRUCK ACCESS DIAG'S. ADDED TO REAR OF PROPERTY – NOTE C**

**Significant Policy Related Issues**

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

**Planning:**

14. Please revise the proposed materials and color scheme so that it includes textures and muted colors that are found in the surrounding desert context. Please refer to Scottsdale Sensitive Design Principle 9.

**THE BELL GROUP SPECIALIZES IN STORAGE PROJECTS. WE CURRENTLY HAVE A STORAGE PROJECT IN THE DR PROCESS @ THOMPSON PEAK PARKWAY & McDOWELL MOUNTAIN RANCH RD. THIS IS IN THE E.L.S.O. THE COLORS ARE THE SAME PALATE THAT HAS BEEN SUBMITTED FOR STORAGE ON McDOWELL REPRESENT 'BRANDING' FOR THEIR STORAGE DEVELOPMENTS.**

15. Please submit a revised Project Narrative that addresses the criteria set forth in Sec. 1.904 of the Zoning Ordinance.

**NARRATIVE REVISED TO INCLUDE *Development Review Board Criteria***

16. Provide a floor plan or roof plan that indicates and illustrates the location of the roof access ladder. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.3.

**ROOF PLAN ADDED TO SUBMITTAL W/ ROOF & O.F. DRAINS, ROOF HATCH & MECH. EQUIP. SCREEN WALL – REF: A-6 & DETAILS**

17. Provide a floor plan or roof plan that indicates and illustrates the location of the stairs and/or elevator to access the multiple levels of the building. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.3.

**FLOOR PLAN REVISED TO SHOW LOCATION OF LOBBY, STAIRS & ELEVATOR**

18. Identify the location of all above ground utility equipment on the site plan. Utility equipment should be located so that it does not conflict with pedestrian amenities, resident amenities, landscape features, and/or on-site circulation.

**NOT APPLICABLE – NO GROUND MOUNTED EQUIP. PROV.**

19. Perimeter and site walls shall be constructed with 6- or 8-inch-wide concrete masonry blocks, 8 inches wide brick, stone, concrete, or a similar solid and durable material to match the building. Stucco and paint the surface of concrete block walls to match the on-site buildings unless they are split-faced, grid or similar decorative types of block. Grade breaks shall be located at the top of the wall at piers or corners wherever possible. Include varied setbacks, alignments, and/or heights and/or piers or buttresses for walls over 200 feet long. Vary the horizontal and vertical alignment of the wall for visual interest. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.205.A.

**KEY NOTE FOR SCREEN WALL ALONG ALLEY REVISED FOR CONFORMANCE WITH TYPE & COLOR OF ADJ. WALL TO THE EAST – REF. NOTE H**

20. Roof drainage systems shall be interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas that are rooftop drainage shall be designed and constructed to minimize erosion or staining of nearby building walls and directs water away from the building foundations. Please refer to Design Standards & Policies Manual, Section 2-1.401.4.

**ROOF PLAN ADDED TO SUBMITTAL W/ ROOF & O.F. DRAINS, ROOF HATCH & MECH. EQUIP. SCREEN WALL – REF: A-6 & DETAILS**

21. Provide section drawings of the proposed exterior shade devices. Provide information that describes the shadow/shade that will be accomplished by the proposed shade devices, given the vertical dimensions of the wall opening. All shade devices should be designed so that the shade material has a density of 75%, or greater, in order to maximize the effectiveness of the shade devices. Please refer to Scottsdale Sensitive Design Principle 9. Please refer to the following internet link: <http://www.scottsdaleaz.gov/design/Shading>.

**ALL EXTERIOR CANOPIES ARE SOLID & INTEGRATED INTO THE BUILDING  
REF: RENDERING & ELEVATIONS**

22. Indicate and illustrate the location of the electrical service entrance section. Service entrance sections (SES) shall be incorporated into the design of the building, either in a separate utility room, or the face of the SES shall be flush with the building face. An SES that is incorporated into the building, with the face of the SES flush with the building, shall not be located on the side of a building that is adjacent to a public right-of-way, roadway easement, or private streets. Please refer to the Scottsdale Design Standards and Policies Manual, Section 2-1.402

**S.E.S. RECESSED @ SOUTHWEST CORNER OF BUILDING (FACING SOUTH}**

23. All exterior mechanical, utility, and communications equipment shall be screened by a parapet or louver system that matches the architectural characteristics, color, and finish of the building. Parapet height for roof-mounted units shall be equal to, or exceed the height of the tallest unit. Please refer to Design Standards & Policies Manual, Section 2-1.401.1.

**NOT APPLICABLE – NO GROUND MOUNTED EQUIP. PROV.**

24. Please update the site plan so that the six-foot-wide on-site pedestrian sidewalk is completely clear and unobstructed by parking overhangs.

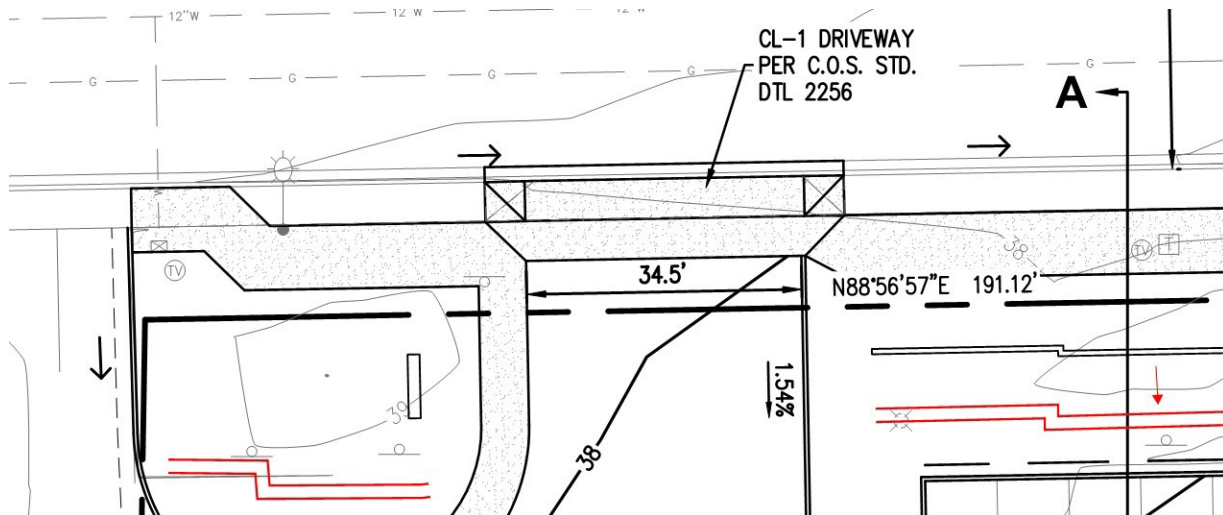
**DIMENSIONS PROVIDED ON SITE PLAN TO COMPLY WITH COMMENT**

25. Please update the site plan and landscape plan to move the parking screen wall farther south, closer to the proposed parking, so that there is a wide landscape buffer adjacent to McDowell Road, similar to the Papago Plaza redevelopment plans.

**PARKING SCREEN WALL RELOCATED SOUTH**

26. Please update the site plan to utilize a parking lot screen wall on the western landscape buffer area as well to screen the vehicular access between parcels.

**PARKING SCREEN WALL ADDED TO WEST OF SOUTH PORTION OF PARKING**



27. Please identify the registered landscape architect that will be preparing the plans for this project.  
Please refer to Arizona Administrative Code, Title 4, Chapter 30.

**NOT REQ'D. BY B.T.R. FOR ARCHITECTS WORKING ON THEIR OWN PROJECTS (I HAVE CONFIRMED & THIS NOTE IS COMMENTED ON EVERY TIME I SUBMIT!)**

28. Please modify the plant species that are listed on the 'Plant Legend' so that they match the Approved Plant List that is in the McDowell Corridor Improvement Streetscape Guidelines, which can be found on the Scottsdale website at:

<http://www.scottsdaleaz.gov/Assets/ScottsdaleAZ/Design/McDGuidelines.pdf>.

Please also incorporate Desert Museum, Drake Chinese Elm, and Mexican Fan Palm, into the streetscape landscaping as done for the Papago Plaza redevelopment. Landscape plan provided for reference.

**THE PAPAGO PLAZA REDEVELOPMENT LANDSCAPE PLAN WAS USED TO DEVELOP THE LANDSCAPE PLAN (WHICH IS NOT IN CONSISTANT W/ THE McDOWELL CORRIDOR STREETSCAPE GUIDELINES). PLEASE NOTE CHINESE ELM & MEXICAN FAN PALMS ARE CURRENTLY LISTED UNDER PLANT MATERIALS (DESERT MUSEUM ADDED)**

29. Please add a note to the Landscape Plan, as follows: Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least 4 feet away from any walkways or parking area curbing. Please refer to DSPM Sec. 2-1.501.L.

**NOTE ADDED**

30. To avoid conflicts between the size of mature medium and small shrubs, and groundcovers, and the new parking spaces, at the time of planting locate these plants at least three (3) feet on-center from the back-of-curb/edge of pavement. Please refer to DSPM Sec. 2-1.1001.14.

**LANDSCAPE PLAN ADJUSRED TO CONFORM WITH COMMENT**

31. Please utilize a dashed line to indicate the sight distance visibility triangles on the landscape plan. Please refer to the Plan & Report Requirements for Development Applications. Please refer to the Scottsdale Design Standards & Policies Manual Section 5-3.119

**S.D.E. ADDED TO SITE PLAN – KEY NOTE R**

32. Provide a written and bar scale, and north arrow on the landscape plan.

**BAR SCALE ADDED**

33. Please show the locations of building mounted and free-standing exterior light fixtures on the landscape plan. Avoid conflicts between the light fixtures and the size of mature trees. Shift either the location of trees or the location of light fixtures so that there is at least twenty (20) feet between tree trunks and light fixtures. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.305.

**LIGHT FIXTURES ADDED TO LANDSCAPE PLAN**

34. Please update the cut sheets so that all proposed fixtures are either a black or dark bronze color.
35. Frosted glass is not an acceptable lighting shield, please update fixture L1 so that the screen is opaque.

Transportation:

36. Please update the site plan to show and dedicate safety triangles at the site driveway per DSPM 5- 3.123; Fig. 5-3.27.

**S.D.E. ADDED TO SITE PLAN – KEY NOTE R**

37. Provide verification of an existing easement, or if not existing, dedicate a cross access easement along the parking and access drive on the west property line, providing a min. 24-foot aisle width. Provide the recording number with the 2<sup>nd</sup> submittal.

**THE PROPERTY OWNER HAS CONTACTED THE ADJACENT PROPERTY OWNER & IS IN THE PROCESS OF PERFECTING THE 24' CROSS ACCESS EASEMENT**

Engineering:

38. Please update the site plan and narrative to indicate that all electrical lines will be placed underground following the improvements being done with the Papago Plaza redevelopment.

**KEY NOTE P INDICATES THAT EXIST. O.H. POWER WILL BE LOCATED U.G.**

39. Please update the site plan and grading and drainage plan to show handicap parking and access.

**A.D.A. PARKING INSIGNIA & DIMS. ADDED ON SITE PLAN**

40. Please update the site plan to show safety triangles and sight distance easements (if necessary) at the driveway.

**S.D.E. ADDED TO SITE PLAN – KEY NOTE R**

Water Resources:

41. Acceptable to connect sewer to south. Install MAG 440-3 detail cleanout per DSPM 7-1.409 DSPM 6-1.405. Flow test provided from adjacent area on 8-inch line. Adequacy suggested as development will connect to 12-inch main with even greater capacity. No determination of fire flow provided.
42. Per DSPM 6-1.408 & 6-1.413, replacement of a 12-inch section of existing ACP pipe in McDowell Rd will be required for fire line installation.

**Technical Corrections**

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Planning:

43. Please update the site plan to show the existing 65-foot half-street of right of way.

**65' R.O.W. SHOWN ON SITE PLAN**

44. Please update the site plan, open space plan, and grading and drainage plan to clearly show the new versus existing alley dedications.

**NEW ALLEY DEDICATION ADDED TO SITE & O.S. PLAN PLANS**

45. Please update the site and landscape plan to provide property dimensions.

**PROPERTY LINE BEARINGS & DIMENSIONS ADDED**

46. Please update the floor plans to provide detail on how the interior of the building will be set up. The current floor plan is lacking a large amount of information.

**FLOOR PLAN REVISED TO SHOW LOCATION OF LOBBY, STAIRS & ELEVATOR**

47. Please update the site plan, open space plan, and landscape plan so all elements (site data, plan, north orientation) are facing the top of the sheet in a horizontal fashion.

**TOP OR LEFT NORTH ORIENTATION IS CONVENTIONAL**

48. Please update the site plan to call out the overall building height (28 feet) and updated required and provided open space.

**28' BUILDING HEIGHT REVISED ON SITE PLAN**

49. Please update the site plan to remove all proposed signage, this includes monument signs.

**MONUMENT SIGN NOTED TO REQUIRE SEPARATE PERMIT**

50. Notes and dimensions on the 24x36-inch plan sheets appear to be 6-point font size, or less. Please revise the notes and dimensions so that they are 12-point font size (1/6th of an inch). Please refer to the Plan & Report Requirements for Development Applications.

**ALL TYPE CHECKED FOR FONT SIZE – FIRE & PLANNING NOTES READJUSTED TO 12-POINT (FONT SIZE CONFIRMED W/ AUTOCAD)**

51. Please provide paint color cards or drawdowns and revise the Color & Material Sample Board per the Development Review Development Application Checklist, Part III – Samples & Models. It may be necessary to provide two boards. Please consider using a thicker foam core board, or multiple-layered foam core board so that heavier samples can be recessed into the board.

**COLOR BOARD & DRAW DOWNS TO BE SUBMITTED TO ONE STOP SHOP**

52. Please revise the Color & Material Sample Board relative to proposed color A Barrel Stove; the manufacturer's number is DE6216.

**NUMBER REVISED**

53. Please provide a site plan and project data that complies with the Plan & Report Requirements for Development Applications. There will be comments regarding the site plan after it has been received and reviewed by staff. Please refer to Zoning Ordinance Section 1.305.

a. Provide a bar scale on the site plan.

**BAR SCALE ADDED**

b. Provide a vicinity map on the site plan.

**VICINITY MAP ADDED**

c. Revise the project data to indicate the gross and net lot area in square feet.

**GROSS & NET LOT AREAS ADDED TO DATA**

d. Revise the project data to indicate vehicle parking, including accessible parking and covered parking, and bicycle parking - required, provided, show calculations. Please refer to Zoning Ordinance Section 9.103.

**PROJECT DATA REVISED**

e. Revise the site plan to indicate the location and dimensions of all abutting rights-of-way, including alleys.

**PROPERTY LINE BEARINGS & DIMENSIONS ADDED**

f. Revise the site plan to indicate the dimensions of the parcel.

**PROPERTY LINE BEARINGS & DIMENSIONS ADDED**

g. Revise the site plan to indicate the dimension from each building/structure to the adjacent/abutting property line.

**DIMENSIONS ADDED TO SITE PLAN**

h. Revise the site plan to indicate the dimension from the right-of-way centerline to the back of curb at the street frontage of the site.

**DIMENSIONS ADDED TO SITE PLAN**

- i. Revise the site plan to indicate the location of streetlights, traffic control devices, irrigation standpipes, storm water management structures, overhead utility lines and poles, etc.

**REQUESTED INFORMATION INDICATED ON SITE PLAN**  
**REF: ALTA SURVEY LEGEND**

54. The hardscape plan is calling out colored sidewalks. Sidewalks in the right of way should be the typical gray concrete color. Please update call outs.

**SITE PLAN REVISED TO INDICATE GREY CONC. FOR SIDEWALK – KEY NOTE Q**

Transportation:

55. With final plans, dedicate 12 feet of commercial alley width on the south side of the property for a total alley right-of-way of 20 feet.

**12' ALLEY DEDICATION ADDRESSED IN OTHER COMMENTS**

Maps:

56. The processing of a Map of Dedication (MOD) is required for the dedication of all identified easements and rights-of-way. The MOD must be recorded prior to the issuance of any permit.

**12' ALLEY DEDICATION ADDRESSED IN OTHER COMMENTS & ACKNOWLEDGED  
TO BE PROCESSED A MAP OF DEDICATION W/ PERMITTING**

Drainage:

**REF: REVISED CIVIL DRAWINGS FOR THE FOLLOWING COMMENTS**

57. A grading and drainage (G&D) plan is included in the drainage report. This plan needs to be a stand-alone document, a copy of which can be included in the drainage report.
58. In addition to the Flood and Insurance Rate Map Information shown on the G&D plan, the Engineer FEMA Certification block, per page 57 of the City DSPM, needs to be added.
59. The lowest finished floors need to be shown per the following format, referenced to the NAVD-88 datum): LF88= XXXX.XX'
60. The G&D plan should better describe and certify the source of survey/contour lines and need to show spot elevations.
61. The drainage report should better describe how the offsite flow enter and leave the projectsite, such as sheet flow, through openings in curbs, walls, etc.
62. SWPPP is required for projects with disturbed areas that exceed 1.0 acres

Fire:

63. Provide evidence of a 24-foot-wide cross access agreement with the neighbor to the west.  
**THE PROPERTY OWNER HAS CONTACTED THE ADJACENT PROPERTY OWNER & IS IN THE PROCESS OF PERFECTING THE 24' CROSS ACCESS EASEMENT**

64. Please verify one exit is the minimum requirement for this structure.  
**FLOOR PLAN REVISED TO SHOW LOCATION OF STAIRS – 2 EXITS PROV.**

Water Resources:

65. Hydrant sufficiency as well as building access for firefighting purposes subject to fire department review.

Online submittal link: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalLogin>

Case number: 46-DR-2019

Key code: K2854

## Resubmittal Checklist – 46-DR-2019

Digital submittals shall include one copy of each identified below.

- ☒ COVER LETTER – Respond to all the issues identified in this 1st Review Comment Letter
- ☒ Revised Narrative for Project
- ☒ Context Aerial with the proposed Site Plan superimposed
- ☒ Site Plan
- ☒ Grading and Drainage Plan
- ☒ Open Space Plan
- ☒ Elevations (b&w and color)
- ☒ Perspective(s)
- ☒ Streetscape Elevation(s)
- ☒ Landscape Plan
- ☒ Lighting Site Plan(s)
- ☒ Photometric Analysis Plan(s)
- ☒ Manufacturer Cut Sheets of All Proposed Lighting:
- ☒ Floor Plan(s)
- ☒ Evidence of executed cross access agreement with neighbor
- ☒ Digital material and color board
- ☒ Physical material and color board (Size 8 ½" by 14")

# ARCHITECTS RESPONSE LETTER

46-DR-2019

Storage at McDowell

K2854 (Key Code)

## Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material.

Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

### Fire, Scott Stanek:

1. Please provide designated and dimensioned fire access to back of structure per Fire Ord. 4283 Sec 503.2.1 and 503.3. (Existing 20' wide access – requires 24')

**MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS, J. ELSON, G. BELL,**

**G. BELL III & S. STANEK @ City of Scottsdale**

**RESOLVED w/ RELOC. OF INTERNAL STAIRS, Ref: SITE PLAN & FLOOR PLANS**

2. Dead end greater than 300' shall have and demonstrate a turn-around per DS&PM Sec. 2-1.303(8). Please update the site plan accordingly.

**RESOLVED w/ RELOC. OF INTERNAL STAIRS, Ref: SITE PLAN & FLOOR PLANS**

3. Provide cross access easement docket number to support site plan layout

**RESOLVED TO FORWARD TO DR BOARD w/ EASEMENT PERFECTED PRIOR TO**

**ISSUANCE OF BUILDING PERMIT – NOTE: BELL GROUP DRAFTING FINAL C.A.E.**

### Planning, Katie Posler:

4. Per first review, only certain items can be excluded from FAR calculations. Areas that can be excluded from FAR are parking, uncovered steps, exterior balcony space, exterior ground floor patio space, basement space used for unoccupied storage, and elevator shafts and space occupied by electrical and mechanical rooms.

**FLOOR PLAN AREAS INDICATED FOR EA. FLOOR**

5. The site plan calls out "less vert. circ. & equip" as being excluded from FAR. Where is this area? It would need to be elevator shafts or electrical or mechanical rooms to be excluded. Please update calculations or call out the area as elevator shafts and electrical if that is truly how the area is being used.

**FLOOR PLAN AREAS INDICATED FOR EA. FLOOR**

6. The new site plan requires a 24-foot-wide cross access easement to be dedicated over the west segment of the subject parcel and east segment of the neighboring parcel to the west. Work with the neighboring property owner to dedicate a new easement or revise the site plan so that all access is provided on site. Provide evidence of the easement recording.

**RESOLVED w/ RELOC. OF INTERNAL STAIRS, Ref: SITE PLAN & FLOOR PLANS**

7. Please show the new site wall along the new south property line connecting with the new Papago site wall location.

**MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS, J. ELSON, G. BELL,**

**G. BELL III & S. STANEK @ City of Scottsdale – AGREED TO DELETE WALL**

8. Per Z.O.Sec.7.600.A.4.a., at the new southern property line of the parcel, the maximum amount of light trespass is limited to 0.3 foot-candles due to the residential to the south. The photometrics plan is showing values over 0.3. Please update lighting accordingly.

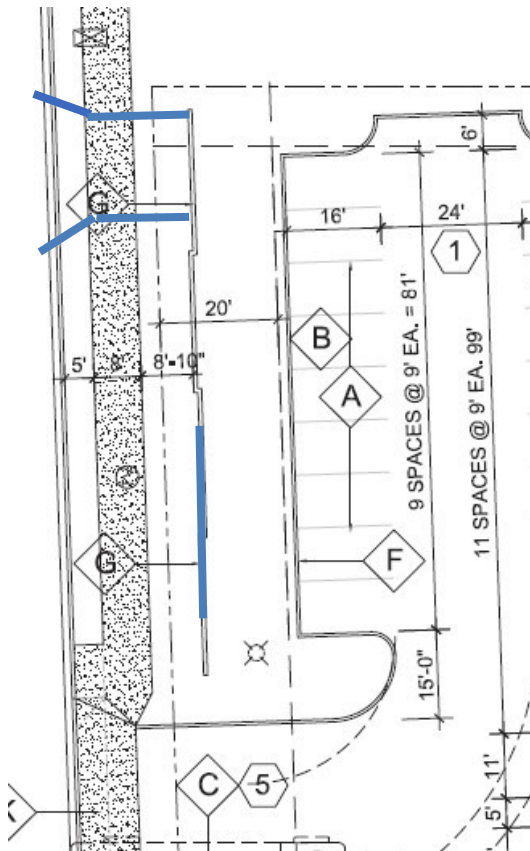
**MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS, J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale – FOOT-CANDLE VALUES @ NEIGHBORHOOD PROPERTY LINES LESS THAN 0.3**

#### Significant Policy Related Issues

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

#### Transportation:

9. Move the site driveway to the eastern property line to eliminate the dead-end parking condition and improve driveway spacing. Coordinate with the Papago Plaza off-site improvements.



**RESOLVED w/ RELOC. OF INTERNAL STAIRS, Ref: SITE PLAN & FLOOR PLANS  
EXIST. DRIVE APPROVED BY P. KERCHER**

10. Provide verification of an existing easement, or if not dedicate a cross access easement along

the parking and access drive on the west property line, providing a min. 24-foot aisle width.

**RESOLVED TO FORWARD TO DR BOARD w/ EASEMENT PERFECTED PRIOR TO  
ISSUANCE OF BUILDING PERMIT – NOTE: BELL GROUP DRAFTING FINAL C.A.E.**

Engineering, Jack Pence:

11. Provide a cross access easement along the parking and access drive on the west property line, providing a min. 24-foot aisle width. Provide evidence of easement.

**RESOLVED TO FORWARD TO DR BOARD w/ EASEMENT PERFECTED PRIOR TO  
ISSUANCE OF BUILDING PERMIT – NOTE: BELL GROUP DRAFTING FINAL C.A.E.**

P

Planning, Katie Posler:

12. Please call out the dimension for all internal sidewalks, which need to be at least 6' wide.

**ADDITIONAL DIMENSIONS ADDED TO SITE PLAN**

13. The roof top mechanical screen is acting as a separate component from the building, it should be architecturally integrated with the rest of the elevation design. The screen should wrap the entire elevation as opposed to small portion.

**DISCUSSED & RESOLVED @ MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS,  
J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale**

14. Based on the Commercial Design Guidelines, please remove the false front storage display windows along the north and west building elevations. These false front storage display windows act as signage and brand identity which should be avoided per the guidelines. They also act as beacons of light when illuminated in the evening. The Commercial Design Guidelines state that lighting should be used to highlight special features at a pedestrian level only and avoid lighting up large portions of the building. Please revise the elevations and floor plan accordingly to eliminate that display area.

**DISCUSSED & RESOLVED @ MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS,  
J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale**

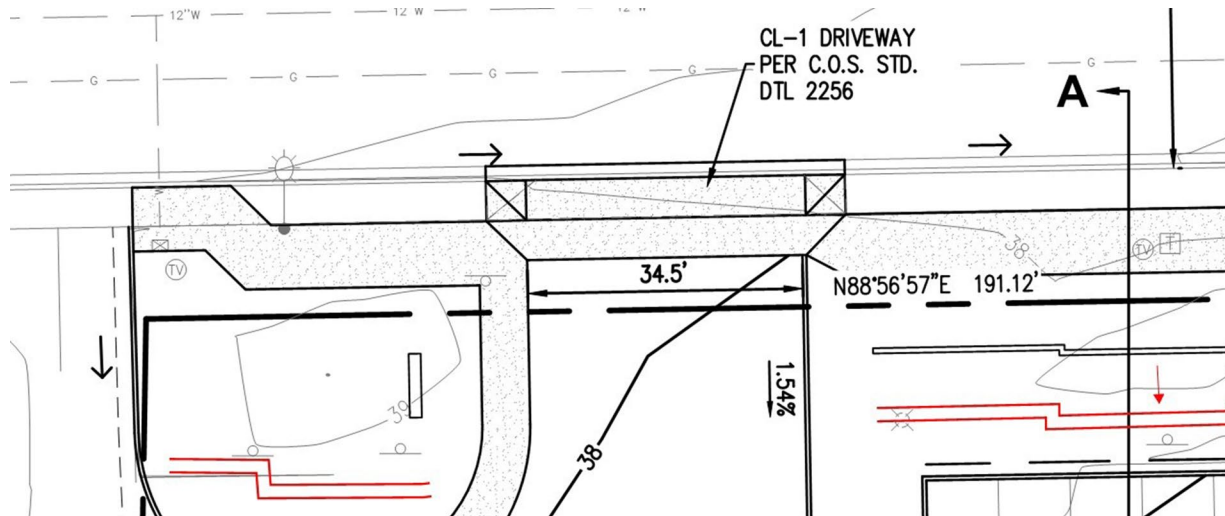
15. Please revise the proposed materials and color scheme so that it includes textures and muted colors that are found in the surrounding desert context. Please refer to Scottsdale Sensitive Design Principle 9. Please state how you have addressed this as the elevations appear the same as first review.

**DISCUSSED & RESOLVED @ MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS,  
J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale –**

**NOTE: COLOR & DESIGN AGREED ON BY PARTICIPANTS**

16. Please update the site plan to utilize a parking lot screen wall on the western landscape buffer area as well to screen the vehicular access between parcels.

**SCREEN WALL ADDED WEST OF UNLOADING AREA – REF: SITE PLAN**



17. Along the McDowell street frontage, please replace the proposed Chitalpa with Desert Museum, and the proposed Palo Brea with Chinese Elm or Mexican Fan Palm to match the street landscaping done with the Papago redevelopment.

#### **LANDSCAPE TREE PALATE REVISED**

18. Please update the cut sheets so that all proposed fixtures are either a black or dark bronze color. Please actually select the finish type on the cut sheet.

#### **FIXTURE COLOR CUT SHEET REVISED**

##### **Technical Corrections**

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

P

##### **Planning, Katie Posler:**

On the open space plan, under the Legend section, incorrect values of provided open space are called out. They do not match the rest of the plan. Please update plans.

19. The pedestrian connection in the parking lot area between the two raised sidewalks will be a striped access. Please update plans. It should not be counted as open space as it is located in the parking lot.

#### **SITE PLAN REVISED TO INDICATE STRIPED A.D.A. ACCESS TO SIDEWALK**

20. Floor area provided (less basement) on the site plan, should not have a value of 47,316 SF as that is too high. Please fix.

#### **PROJECT DATA REVISED TO MATCH O.S. CALCS.**

21. Please update the grading and drainage plan to match the site plan layout. The grading and drainage plan should show the required 12' alley dedication, SES location, new and existing site walls, etc.

#### **G & D PLAN REVISED TO COORDINATE W/ SITE PLAN**

22. Please update the internal sidewalks to be concrete gray. San Diego buff is used in North Scottsdale areas.

#### **CONCRETE COLOR NOTE REVISED – REF: SITE PLAN**

23. Please update the site plan to call out the new wall that will be built with the Papago redevelopment.

**MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS, J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale – AGREED TO DELETE WALL**

24. Please remove any monument signage call outs as that is a separate review.

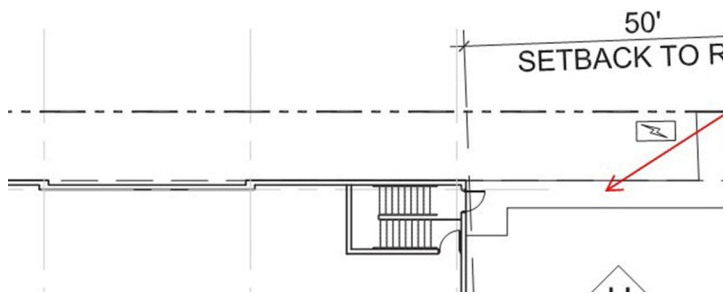
**MONUMENTS SIGN REMOVED FROM SITE PLAN**

25. Will there be roll up doors for users to drop off their storage items? Please explain.

**MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS, J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale – FUNCTION OF LOBBY/DROP-OFF @ CANOPY DISCUSSED & AGREED ON**

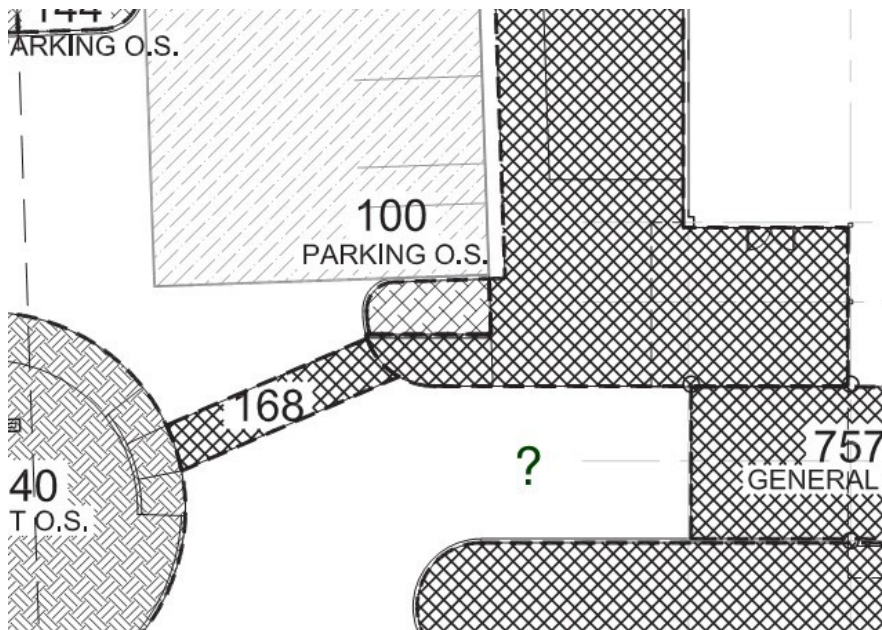
26. Why are there stairs and a sidewalk leading from southeast corner of the building to parcel to the east? There will be a 6' tall wall along the Papago project perimeter. There will not be access between the sites. Please remove/explain that connection.

**MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS, J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale  
RESOLVED w/ RELOC. OF INTERNAL STAIRS, Ref: SITE PLAN & FLOOR PLANS**

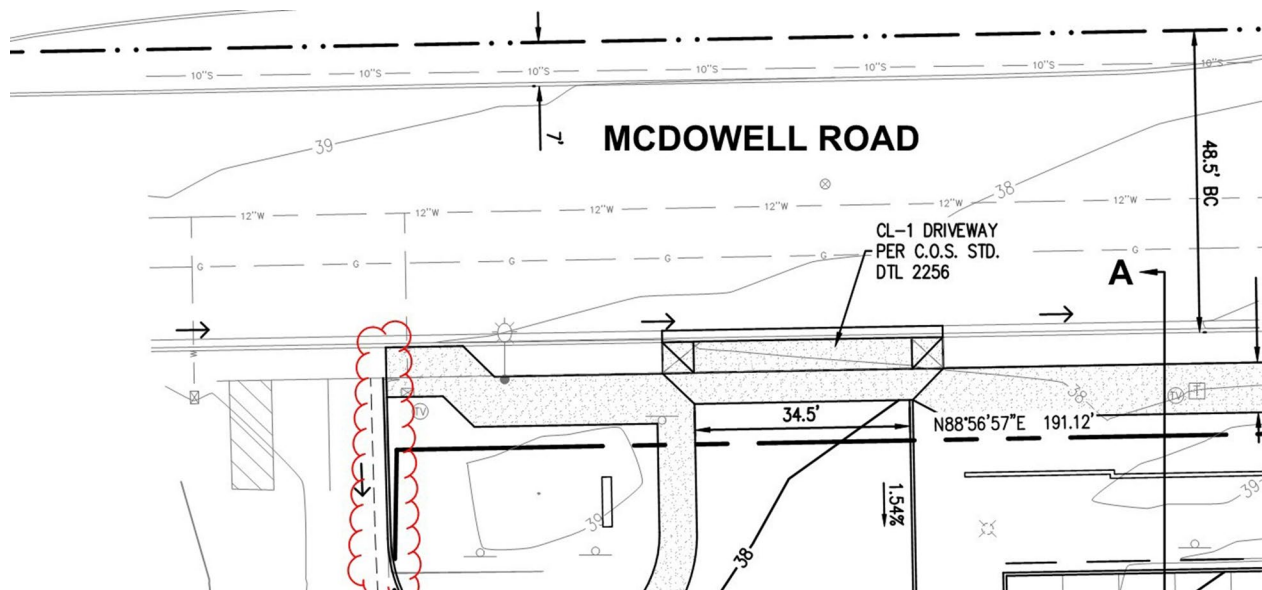


27. Is the area below a drop off/parking area? Please explain. It should be accounted for in the required parking lot and parking lot landscaping calculations.

**MEETING w/ K. POSLER, G. BLOEMBERG, T. CURTIS, J. ELSON, G. BELL, G. BELL III & S. STANEK @ City of Scottsdale – FUNCTION OF LOBBY/DROP-OFF @ CANOPY DISCUSSED & AGREED ON**



28. The proposed site plan and grading and drainage plan show improvements being done on the western parcel. Revise the site plan and grading plan so work is completed on the subject site. See below.



#### **CIVIL & SITE PLAN REVISED**

29. Please update the site plan and grading and drainage plan to show all curbing associated with sidewalks and parking on site.

#### **G & D PLAN REVISED TO COORDINATE W/ SITE PLAN**

30. Please see the attached marked up site plan with additional planning comments/questions.

Please resubmit the revised application requirements and additional information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional information is necessary.

Online submittal link: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalLogin>

Case number: 46-DR-2019

Key code: K2854

These **2<sup>nd</sup> Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

#### **Resubmittal Checklist – 46-DR-2019**

Digital submittals shall include one copy of each identified below.

- ☒ COVER LETTER – Respond to all the issues identified in this 2nd Review Comment Letter
- ☒ Revised Narrative for Project
- ☒ Site Plan
- ☒ Grading and Drainage Plan
- ☒ Open Space Plan
- ☒ Elevations (b&w and color)
- ☒ Streetscape Elevation(s)
- ☒ Landscape Plan
- ☒ Lighting Site Plan(s)
- ☒ Photometric Analysis Plan(s)
- ☒ Manufacturer Cut Sheets of All Proposed Lighting:
- ☒ Floor Plan(s)
- ☒ Evidence of executed cross access agreement with neighbor
- ☒ Digital material and color board
- ☒ Physical material and color board (Size 8 ½" by 14")